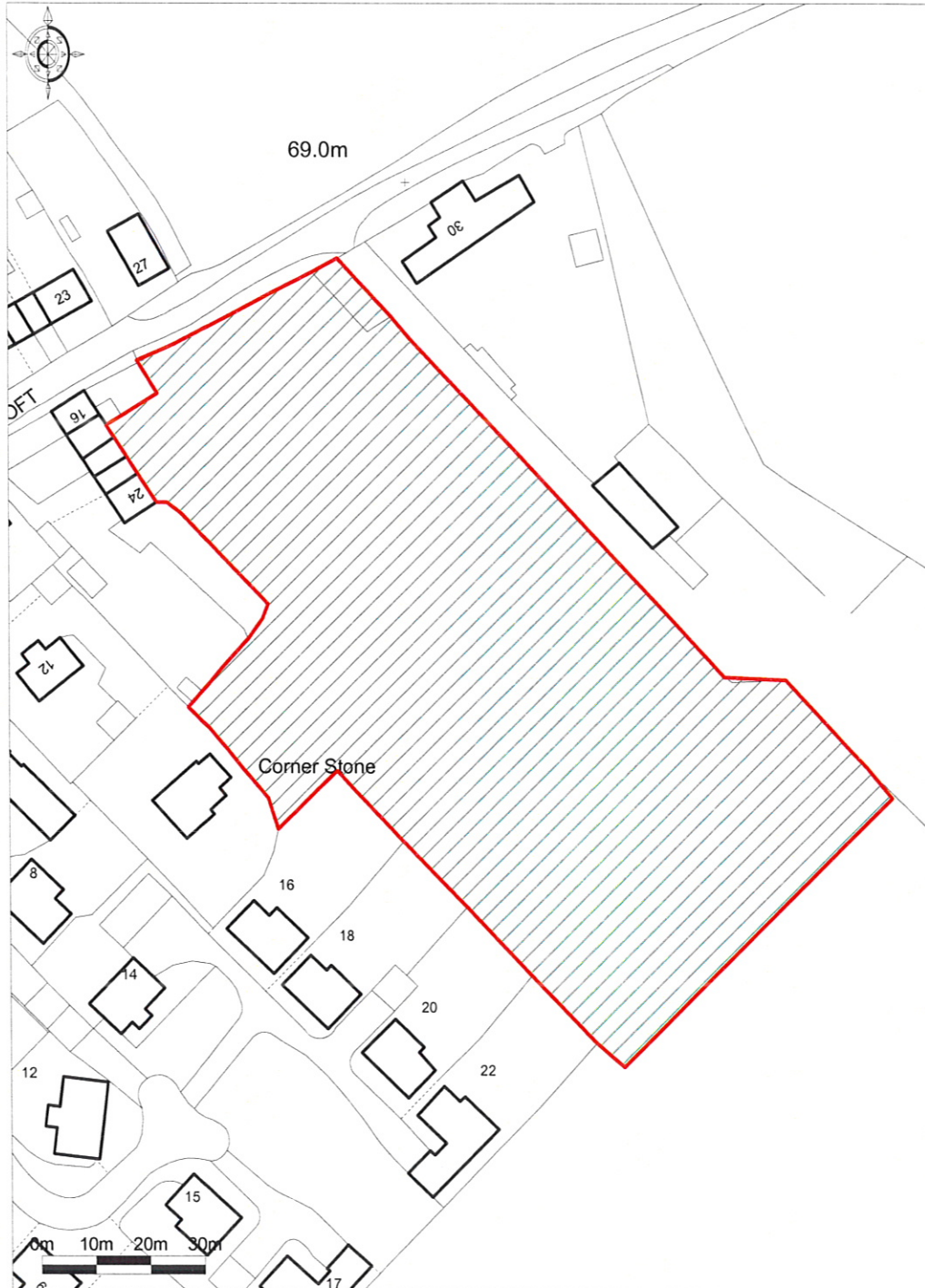


Horsecroft, Stanford in the Vale



NOTES:  
 1. Scaled dimensions must not be taken from this drawing.  
 2. This drawing must be read in conjunction with all relevant drawings, documents and information prepared by the Architects, other Consultants and Specialists.  
 3. Any discrepancy on this drawing must be referred to the Architects and clarification obtained before any action by others and prior to commencement of works.  
 4. All dimensions must be checked on site before any action by others and prior to commencement of work or the preparation of Specialists drawings.  
 5. The copyright of this drawing remains with the Architect.  
 6. If in doubt ask!

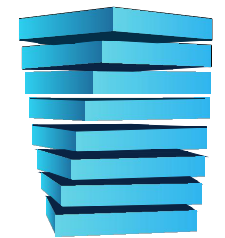
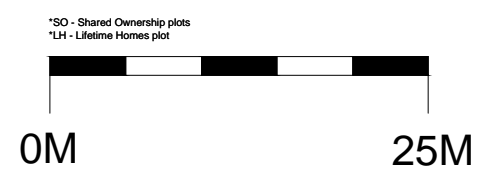
REVISIONS

Rev P2 - 08.01.14	Front boundary to plot 16 amended to finish on garden room
Rev P3 - 13.02.14	Amendment of Plot 1 garden and addition of adjacent POS
Rev P4 - 14.03.14	HT G and H reduced in size as instructed
Rev P5 - 17.03.14	Schedule updated for HT G and H
Rev P6 - 05.06.15	Revision for resubmission to LPA
Rev P7 - 11.06.15	Plot 5 parking amended to enable turning, SO shown
Rev P8 - 10.07.15	Garden rooms reduced, BCH plots all amended, garden store enlarged and gates realigned
Rev P9 - 13.07.15	ASHP shown.
Rev 10 - 17.07.15	Roof plans amended
Rev 11 - 08.10.15	Visitor parking moved by entrance



Land at Penstones Farm Stanford in the Vale

Private Housing		Storey Height	sq. ft	Affordable	Private	Square Footage
<b>BCH</b>						
A	Ash (with sun end)	1.5	1347		2	2694
B	Beech	1.5	1414		1	1414
B1	Beech (with garden room)	1.5	1520		2	3040
B2	Beech (link to garage)	1.5	1536		1	1536
C1	Bungalow	1	1199		1	1199
C2	Bungalow	1	1199		2	2398
D1	Sycamore	1.5	1601		1	1601
				<b>Total</b>	<b>10</b>	<b>13882</b>
<b>Open Market</b>						
Private Housing		Storey Height	sq. ft	Affordable	Private	Square Footage
F	4 Bed House	2	1621		1	1621
				<b>Total</b>	<b>0</b>	<b>1621</b>
<b>Affordable Housing</b>						
Private Housing		Storey Height	sq. ft	Affordable	Private	Square Footage
G	3 Bed House	2	975	1		975
H	2 Bed House	2	839	3		2517
J	2 Bed House	2	843	3		2529
				<b>Total</b>	<b>7</b>	<b>6021</b>
				<b>Grand Total</b>	<b>18</b>	<b>21524</b>



ERIC COLE ARCHITECTURE

Eric Cole Ltd. 15 The Woolmarket, Cirencester, Gloucestershire GL7 2PR  
 T: +44 (0)1285 641234 E: mail@ericcole.co.uk W: www.ericcole.co.uk

PROJECT:	LAND AT PENSTONES FARM, STANFORD IN THE VALE		
DWG TITLE:	SITE LAYOUT		
SCALE:	1:500 @ A2	DRAWN: RJW	CHECKED:
DWG NO:	13.093.SI.02	REV: P11	DATE: DEC 13



1. Scaled dimensions must not be taken from this drawing.  
 2. This drawing must be read in conjunction with all relevant drawings, documents and information prepared by the Architects, other Consultants and Specialists.  
 3. Any discrepancy on this drawing must be referred to the Architects and clarification obtained before any action by others and prior to commencement of work.  
 4. All dimensions must be checked on site before any action by others and prior to commencement of work of the preparation of Specialists drawings.  
 5. The copyright of this drawing remains with the Architect.  
 6. If in doubt ask!

Appendix 3

REVISIONS	
Rev P2 - 09.01.14	General update for planning
Rev P3 - 26.05.15	Revision for resubmission to LPA
Rev P4 - 13.07.15	Amended to Ash HT. Cavity wall increase to meet new regulations. Fenestration amendment.
Rev P5 - 17.07.15	Planning Issue



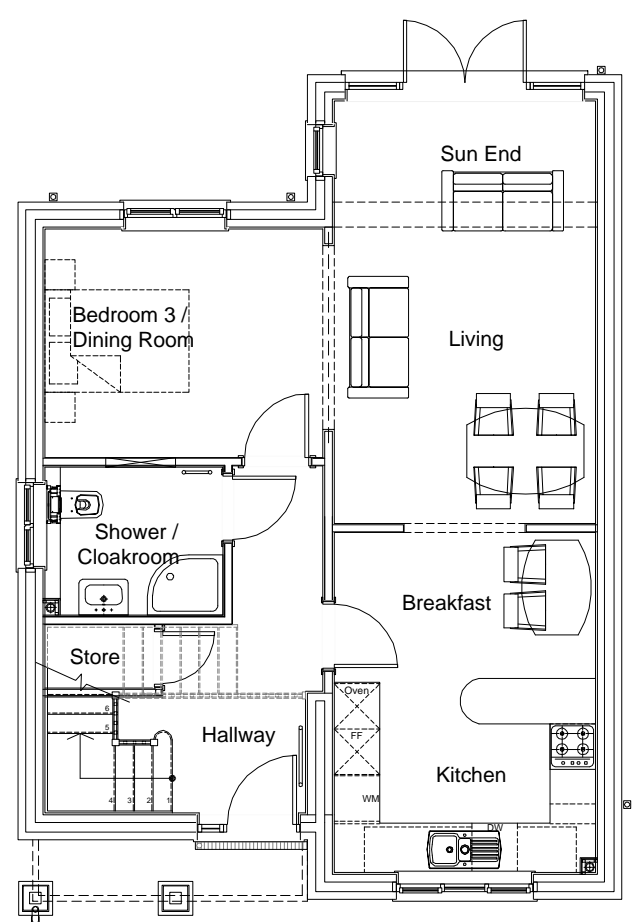
FRONT ELEVATION



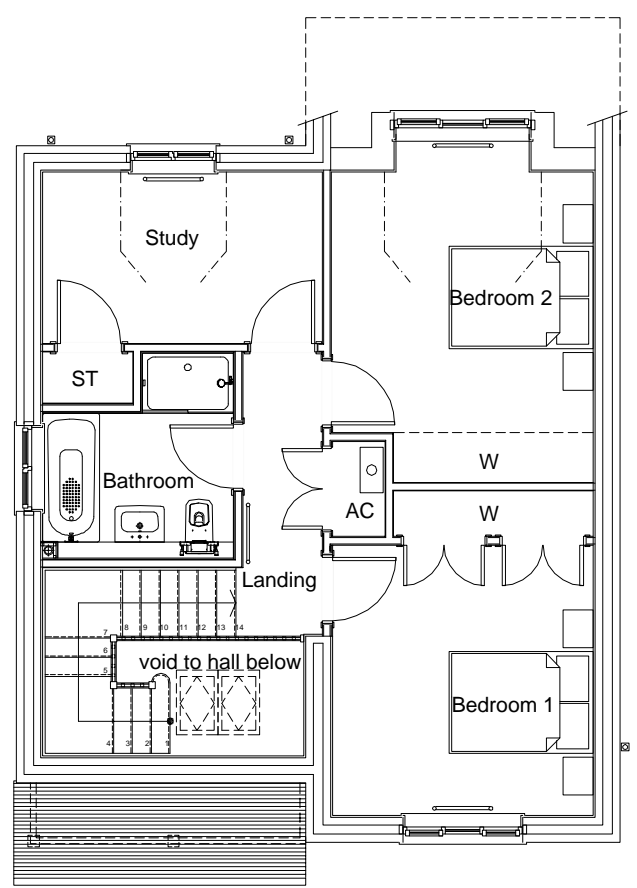
REAR ELEVATION



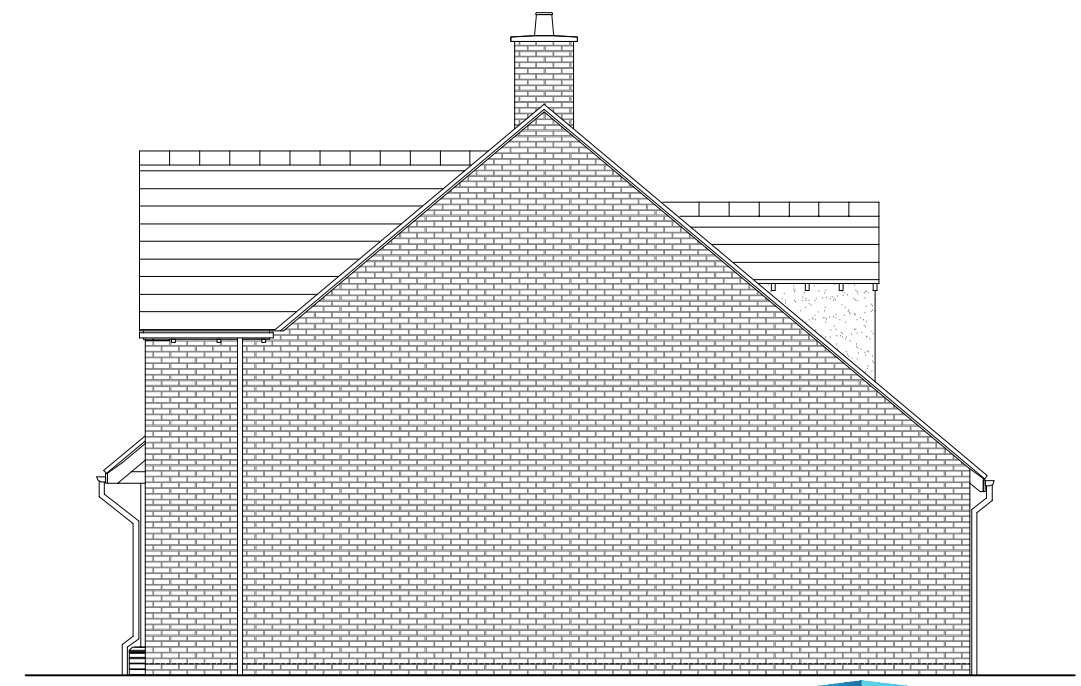
SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SIDE ELEVATION



ERIC COLE ARCHITECTURE

Eric Cole Ltd. 15 The Woolmarket, Cirencester, Gloucestershire GL7 2PR  
 T: +44 (0)1285 641234 E: mail@ericcole.co.uk W: www.ericcole.co.uk

As plot : 14

PROJECT:	LAND AT PENSTONES FARM, STANFORD IN THE VALE		
DWG TITLE:	HOUSE TYPE A PLANS & ELEVATIONS		
SCALE:	1:100@A3	DRAWN: RP	CHECKED: RJW
DWG NO:	13.093.HT-D.02	REV: P5	DATE: DEC 13

1. Scaled dimensions must not be taken from this drawing.  
 2. This drawing must be read in conjunction with all relevant drawings, documents and information prepared by the Architects, other Consultants and Specialists.  
 3. Any discrepancy on this drawing must be referred to the Architects and clarification obtained before any action by others and prior to commencement of works.  
 4. All dimensions must be checked on site before any action by others and prior to commencement of work or the preparation of Specialists drawings.  
 5. The copyright of this drawing remains with the Architect.  
 6. If in doubt ask!

REVISIONS

Rev P2 - 09.01.14	General update for planning
Rev P3 - 05.06.15	Revision for resubmission to LPA
Rev P4 - 13.07.15	Garage removed. Cavity wall increase to meet new regulations. Fenestration amendment.
Rev P5 - 17.07.15	Planning Issue



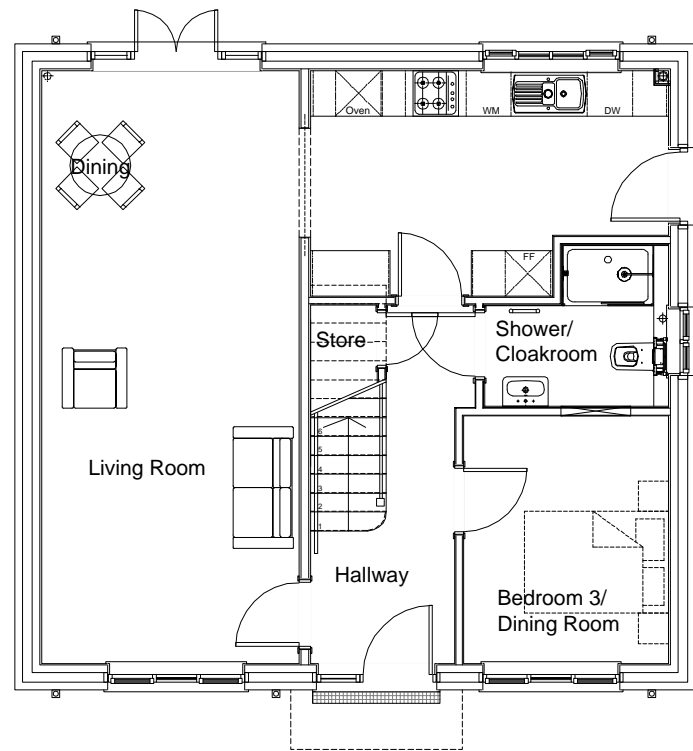
FRONT ELEVATION



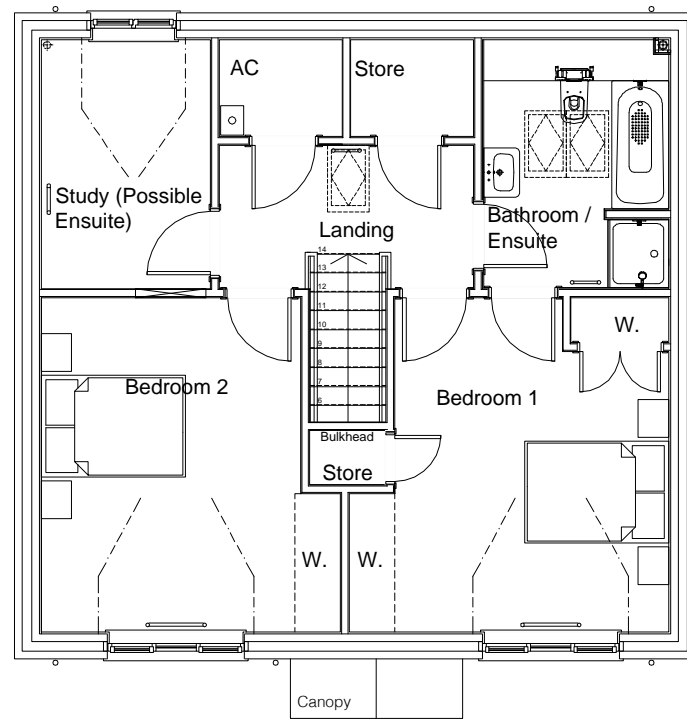
REAR ELEVATION



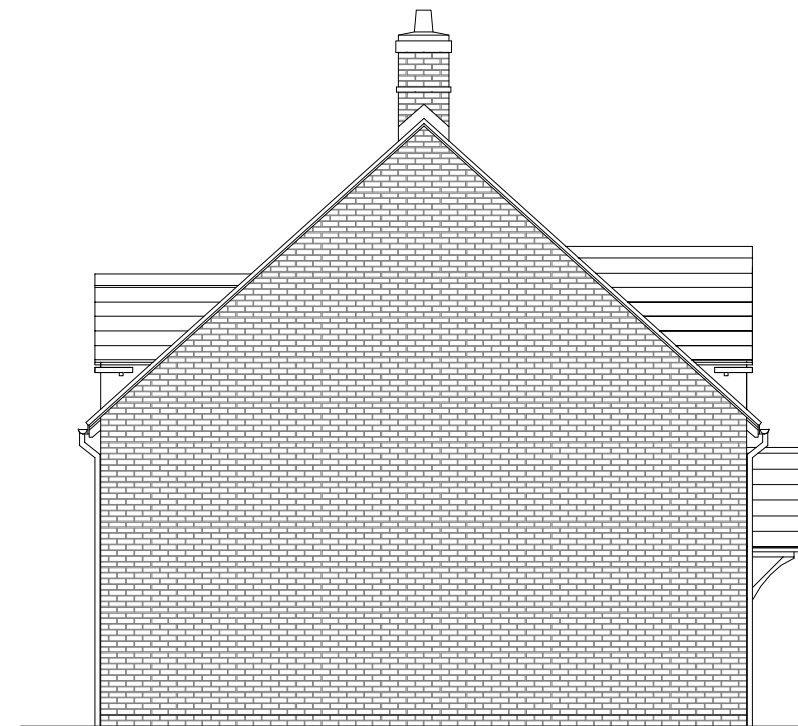
SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SIDE ELEVATION



ERIC COLE ARCHITECTURE

Eric Cole Ltd. 15 The Woolmarket, Cirencester, Gloucestershire GL7 2PR  
 T: +44 (0)1285 641234 E: mail@ericcole.co.uk W: www.ericcole.co.uk

As plot : 12

PROJECT:	LAND AT PENSTONES FARM, STANFORD IN THE VALE		
DWG TITLE:	HOUSE TYPE B		
SCALE:	1:100@A3	DRAWN: RP	CHECKED: RJW
DWG NO:	13.093.HT-B.01	REV: P5	DATE: DEC 13

# Appendix 5

1. Scaled dimensions must not be taken from this drawing.
2. This drawing must be read in conjunction with all relevant drawings, documents and information prepared by the Architects, other Consultants and Specialists.
3. Any discrepancy on this drawing must be referred to the Architects and clarification obtained before any action by others and prior to commencement of work.
4. All dimensions must be checked on site before any action by others and prior to commencement of work of the preparation of Specialists drawings.
5. The copyright of this drawing remains with the Architect.
6. If in doubt ask!

## REVISIONS

Rev P4 - 13.07.15	Hung tiles & stone added, pitched roof added to pod.
Rev P5 - 17.07.15	Planning Issue



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



ERIC COLE ARCHITECTURE

Eric Cole Ltd. 15 The Woolmarket, Cirencester, Gloucestershire GL7 2PR  
 T: +44 (0)1285 641234 E: mail@ericcole.co.uk W: www.ericcole.co.uk

As plot : 17 & 18

PROJECT:	LAND AT PENSTONES FARM, STANFORD IN THE VALE		
DWG TITLE:	HOUSE TYPE C2 ELEVATIONS		
SCALE:	1:100@A3	DRAWN: RP	CHECKED: RJW
DWG NO:	13.093.HT-B1.05	REV: P5	DATE: DEC 13

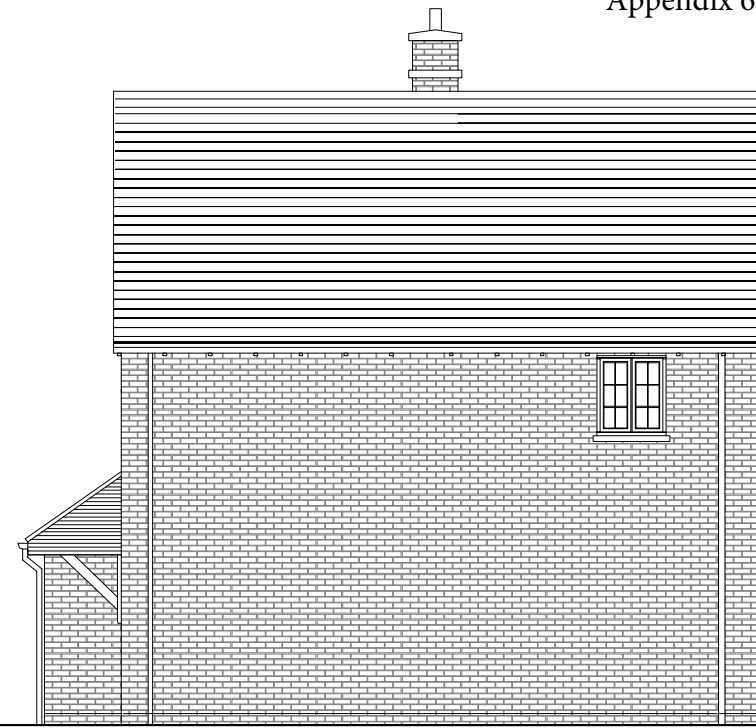
1. Scaled dimensions must not be taken from this drawing.  
 2. This drawing must be read in conjunction with all relevant drawings, documents and information prepared by the Architects, other Consultants and Specialists.  
 3. Any discrepancy on this drawing must be referred to the Architects and clarification obtained before any action by others and prior to commencement of work.  
 4. All dimensions must be checked on site before any action by others and prior to commencement of work of the preparation of Specialists drawings.  
 5. The copyright of this drawing remains with the Architect.  
 6. If in doubt ask!

REVISIONS

Rev P2 - 09.01.14	General update for planning
Rev P3 - 26.05.15	Revision for resubmission to LPA
Rev P4 - 14.07.15	ASHP shown
Rev P5 - 17.07.15	Planning Issue



FRONT ELEVATION



SIDE ELEVATION

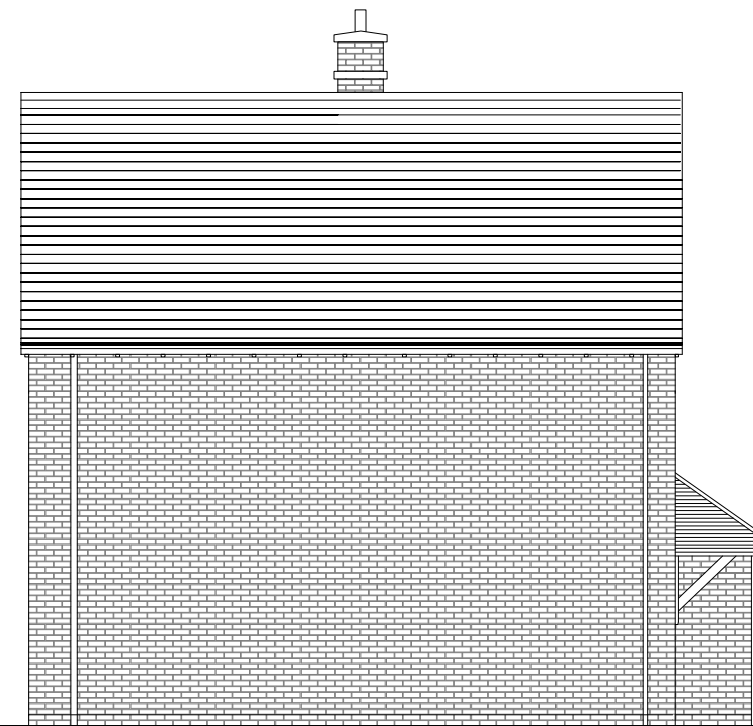


REAR ELEVATION

ASHP

ASHP

ASHP



SIDE ELEVATION



ERIC COLE ARCHITECTURE

Eric Cole Ltd. 15 The Woolmarket, Cirencester, Gloucestershire GL7 2PR  
 T: +44 (0)1285 641234 E: mail@ericcole.co.uk W: www.ericcole.co.uk

As plot : 4-6

PROJECT:	LAND AT PENSTONES FARM, STANFORD IN THE VALE		
DWG TITLE:	HOUSE TYPE J ELEVATIONS		
SCALE:	1:100@A3	DRAWN: RP	CHECKED: RJW
DWG NO:	13.093.HT-J.02	REV: P5	DATE: DEC 13